

Request for Bids No. 314001 Buildings C & D Neighborhoods Remodel

# Badger Prairie Health Care Center

1100 E. Verona Ave. Verona, WI 53593



## PLUNKETT RAYSICH ARCHITECTS, LLP

11000 west park place milwaukee, wisconsin 53224 t 414 359 3060 2310 crossroads drive suite 2000 madison, wisconsin 53718 t 608 240 9900 1613 fruitville road suite 3 sarasota, florida 34236 t 941 348 3618

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Overall Plan (Buildings C & D)

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Architectural Patio Plan (Building C)

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## **Project Information**

Date: September 11, 2014 PRA Project Number: 120341-02 Dane County Bid Number: 314001

**Construction Documents** 

ADD NO. 1 09-30-14

#### Applicable Codes and Zoning

Wisconsin Enrolled Commercial Building Code 2014 Occupancy Group I-2 Skilled Nursing Facilities

Zoning: Town of Verona ordinances

#### Type of Construction

**ADA Access Route** 

Existing Facility currently accessible

Alteration (Level 1)

Type of construction, Type V-A Construction Automatic Sprinkler System NFPA 13 (IBC 903)

Fire Alarm System including smoke detectors (IBC 907 & NFPA 72)

#### Occupant Load

Exiting

Remains the same Existing Aggregate Width to remain the same

### Parking Requirements

Remains the same

## **Project Location**



## **Project Team**

## Owner

Dane Co. Dept. of Public Works

608-266-4018

Contact: Scott Carlson

#### Architect

Plunkett Raysich Architects, LLC

608-240-9900

Contact: Steven Kieckhafer

Civil Engineer

**SCS** Engineers 608-224-2830

**Contact: Betsy Powers** 

Landscape Architect

LJ Geer 608-862-3564

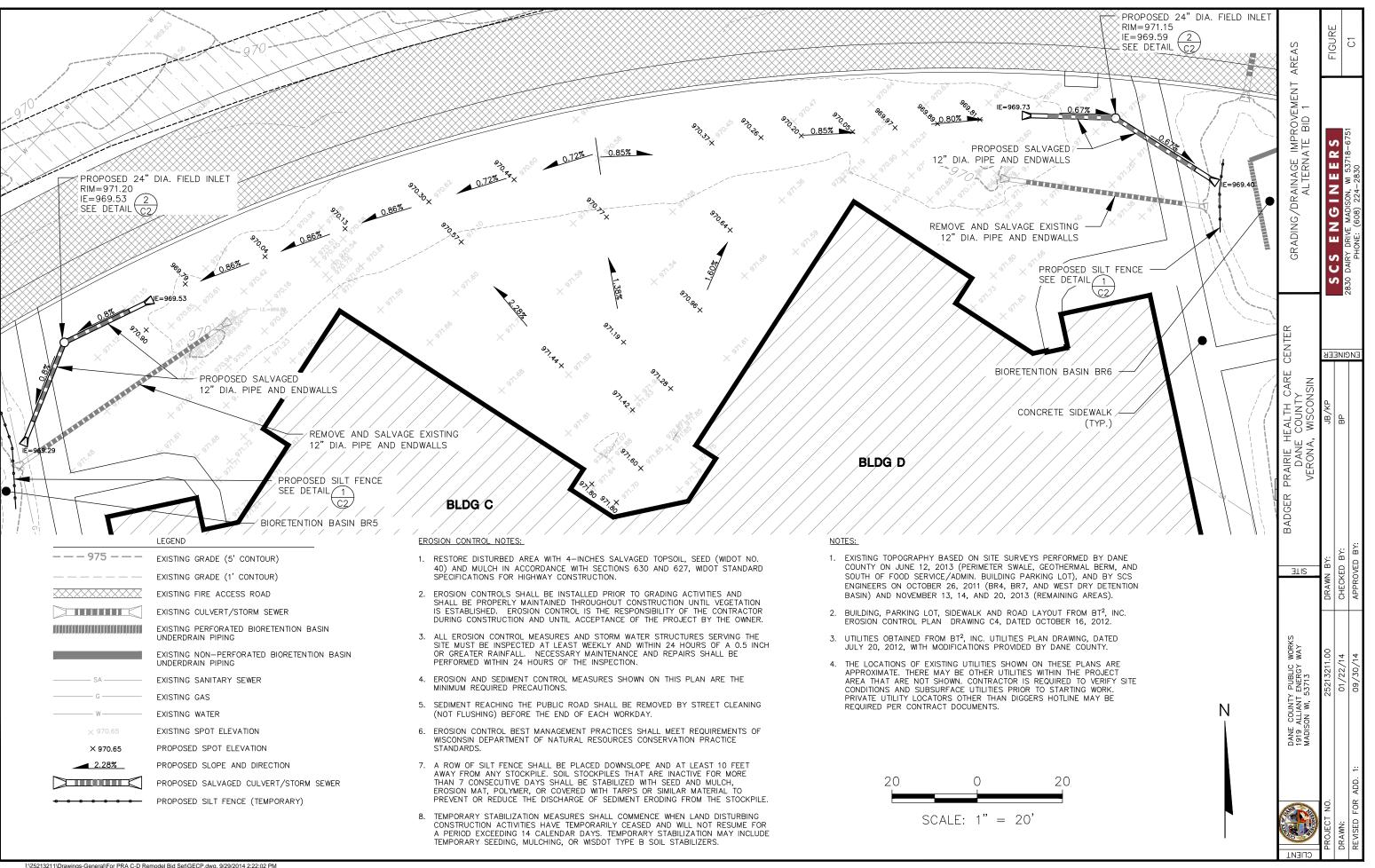
Contact: Lisa Geer

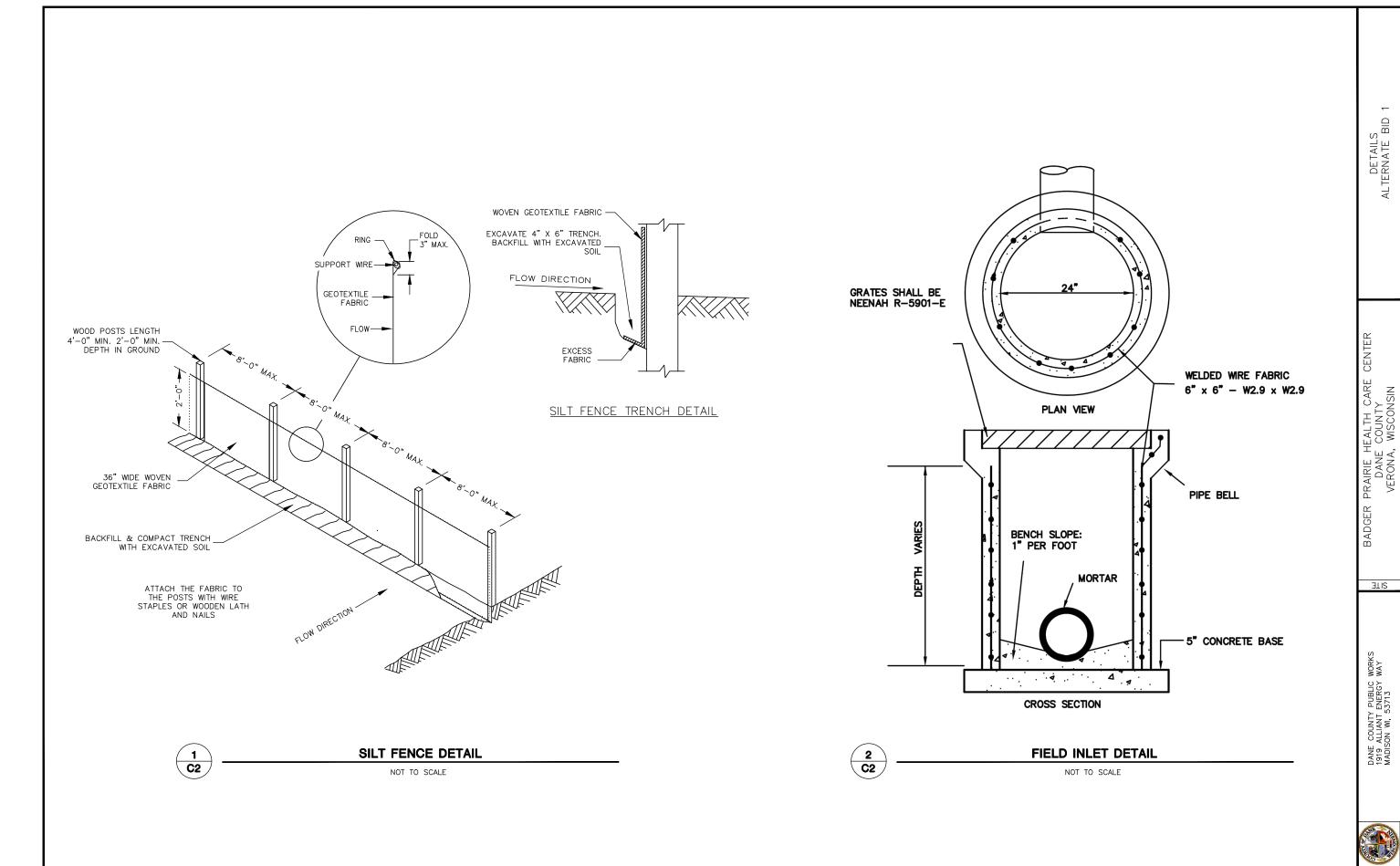
Electrical/Technology Consultant

**KJWW** 608-223-9600

Contact: Chris Franczek

Title Sheet ()()()

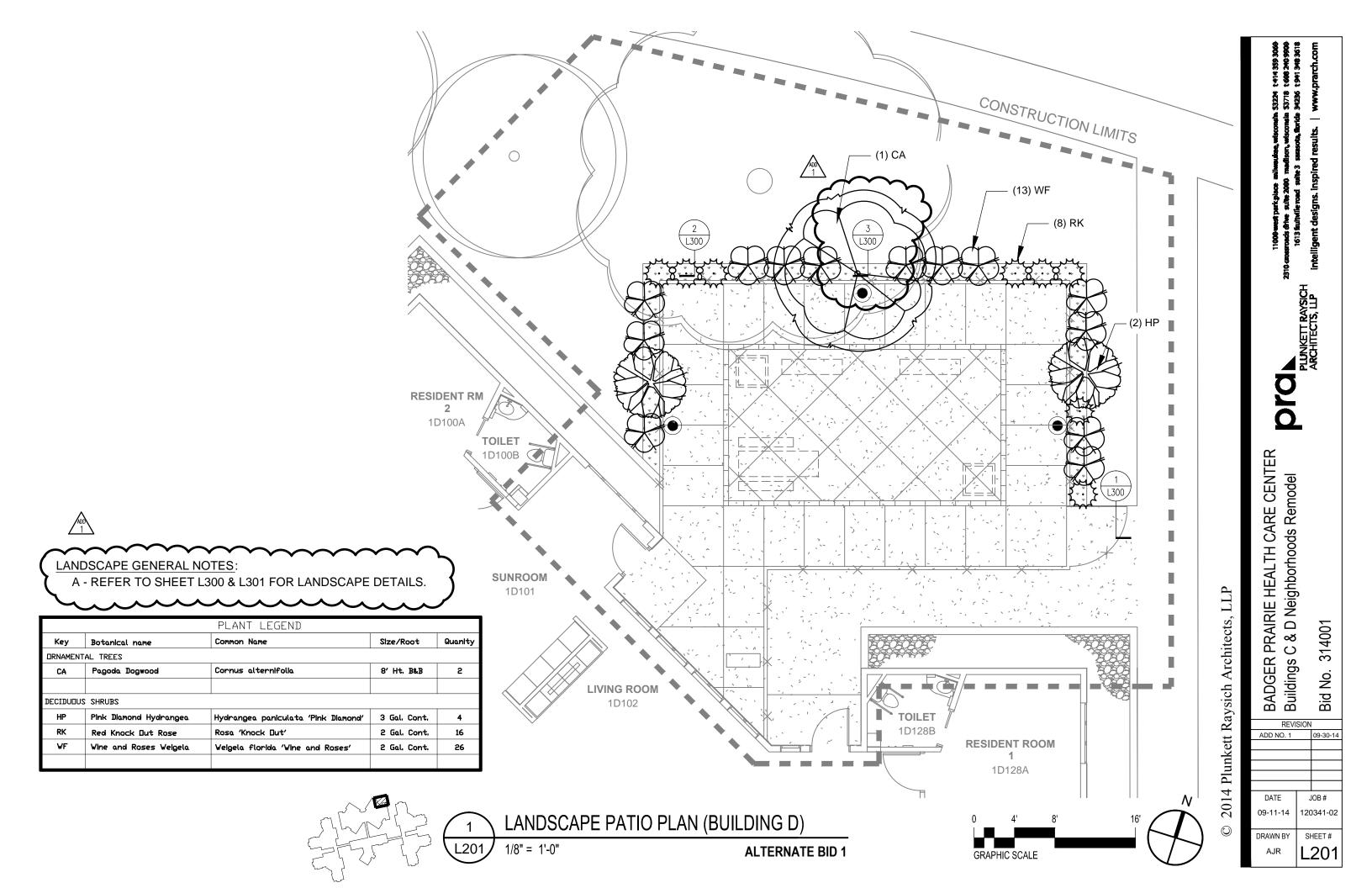


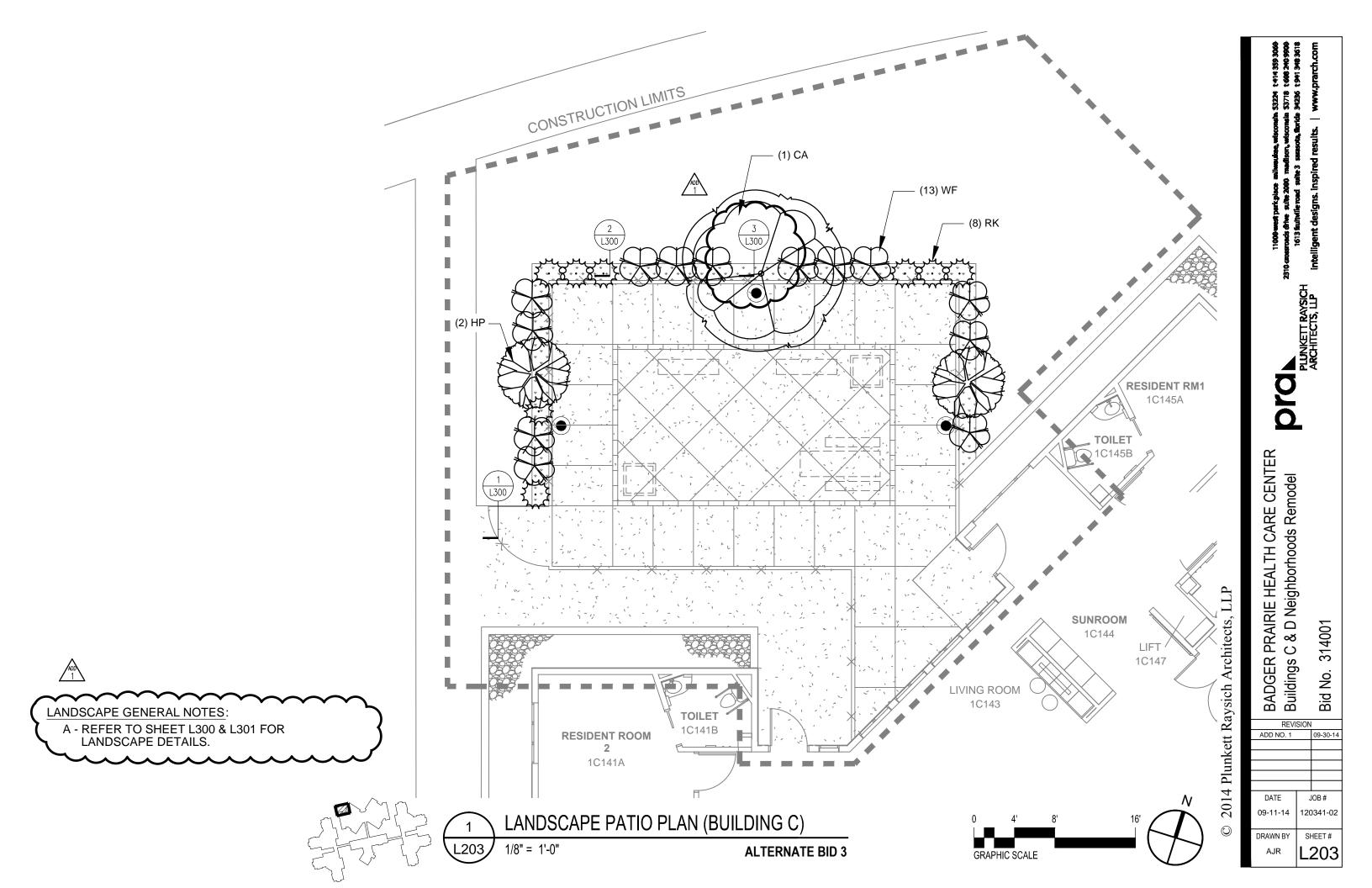


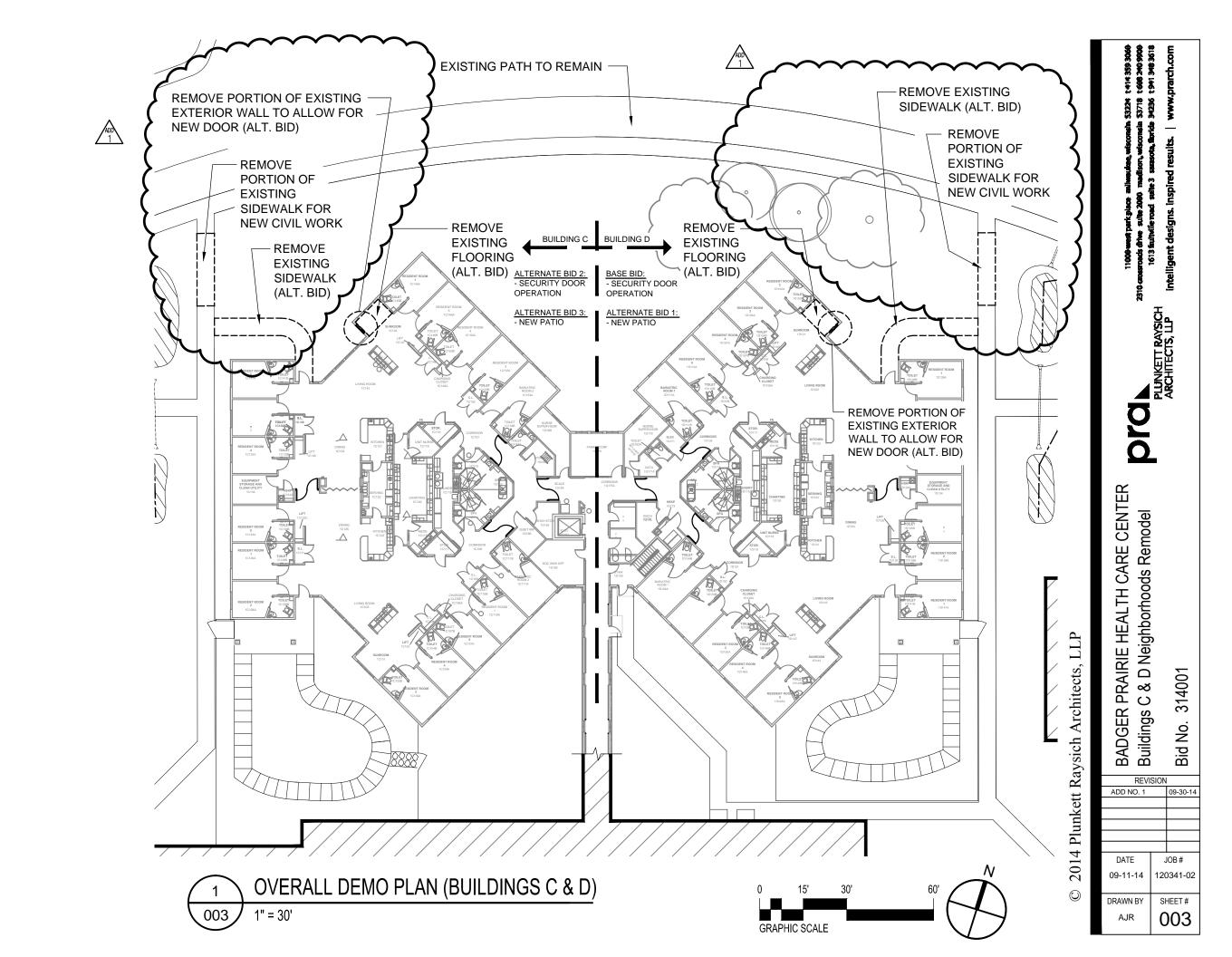
ENGINEERS

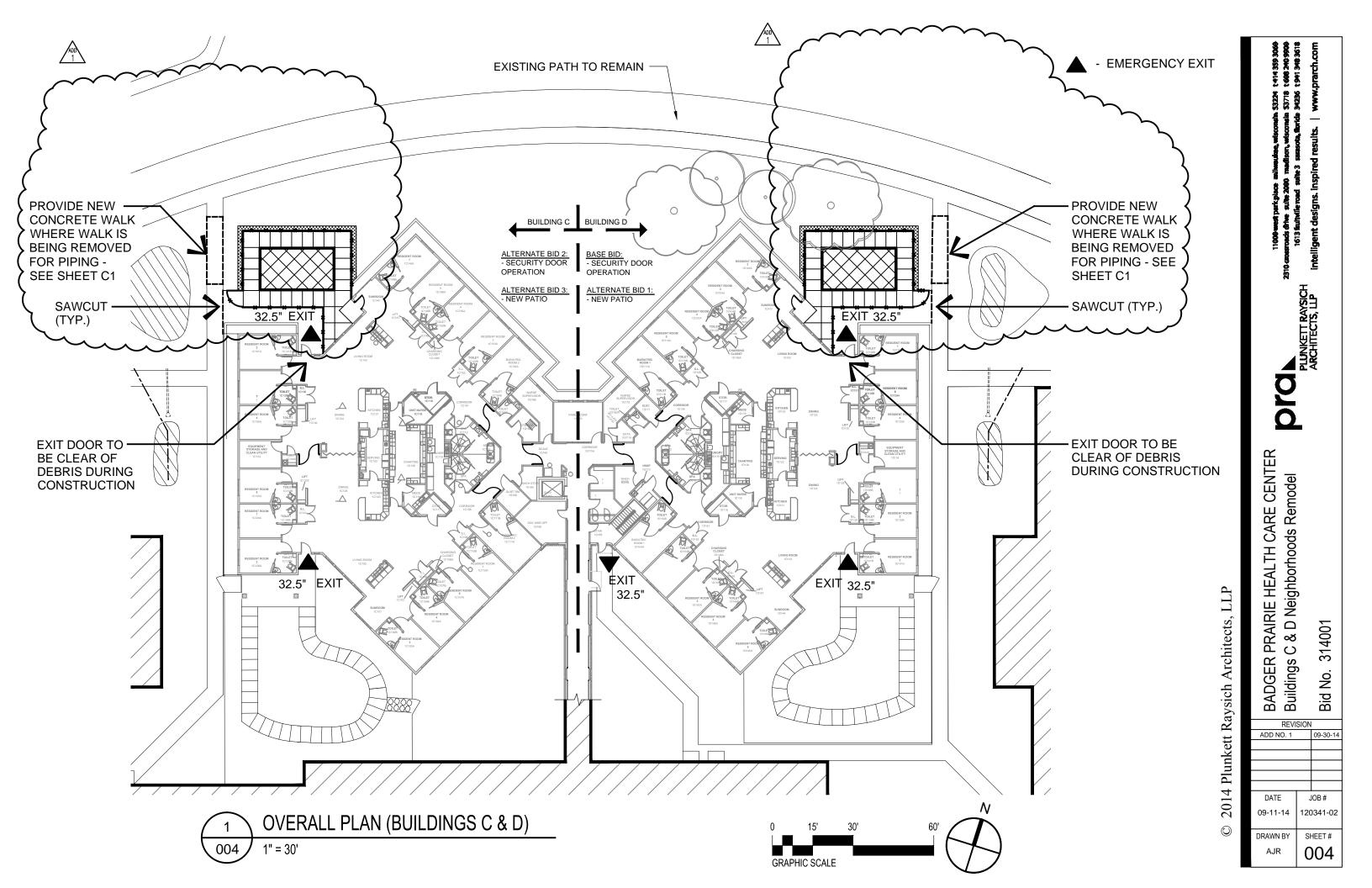
SCS

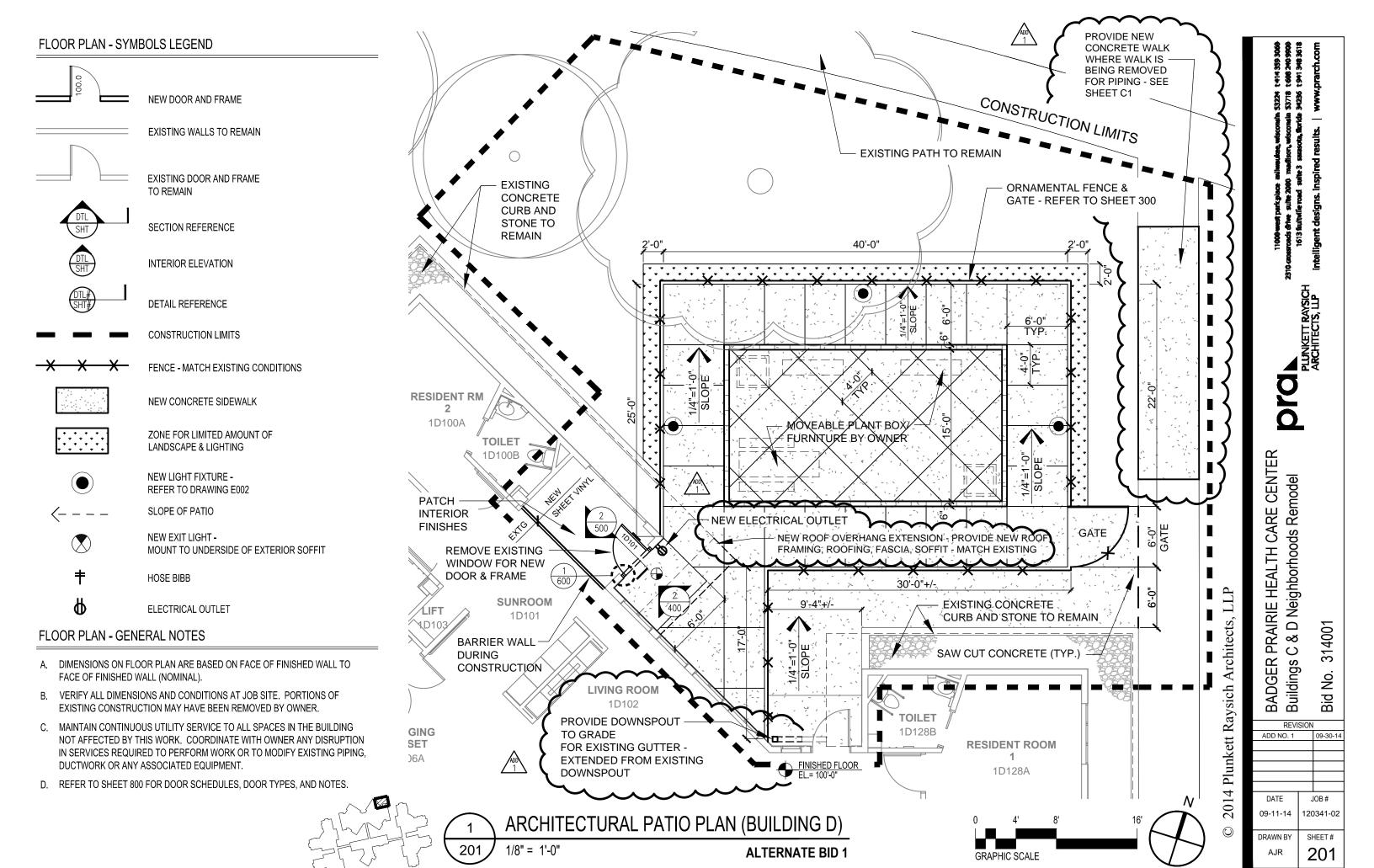
ENCINEER

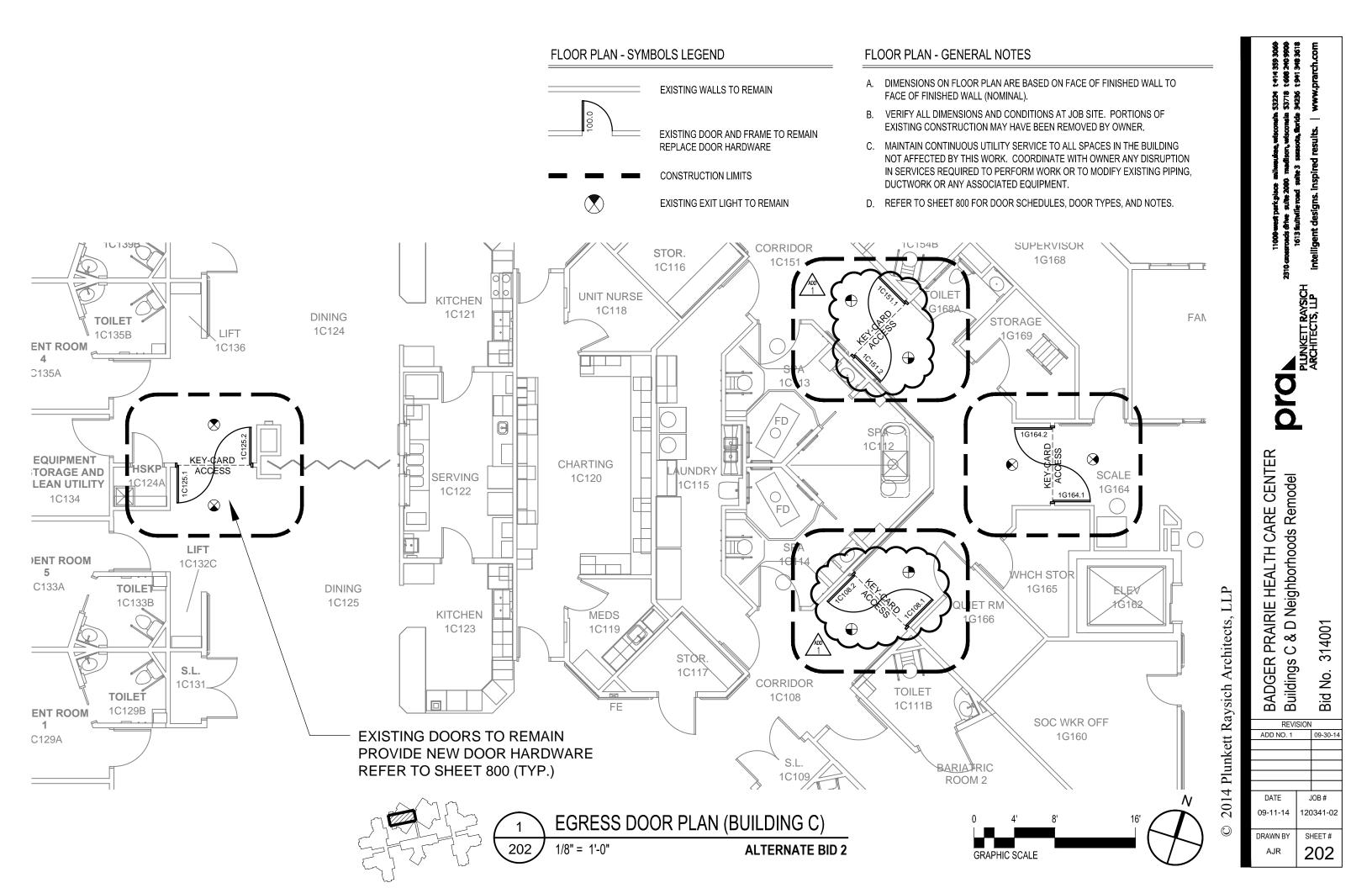


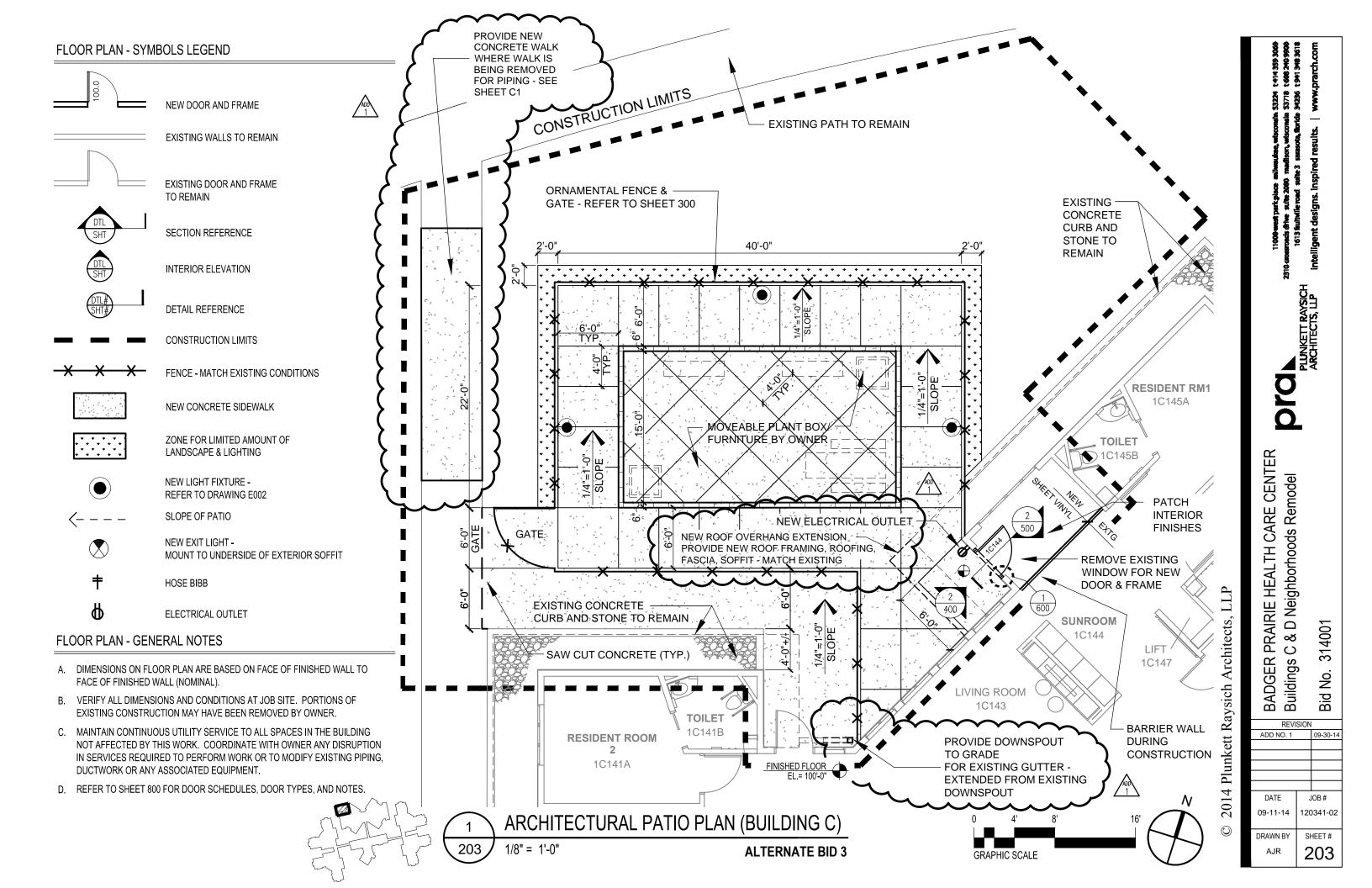


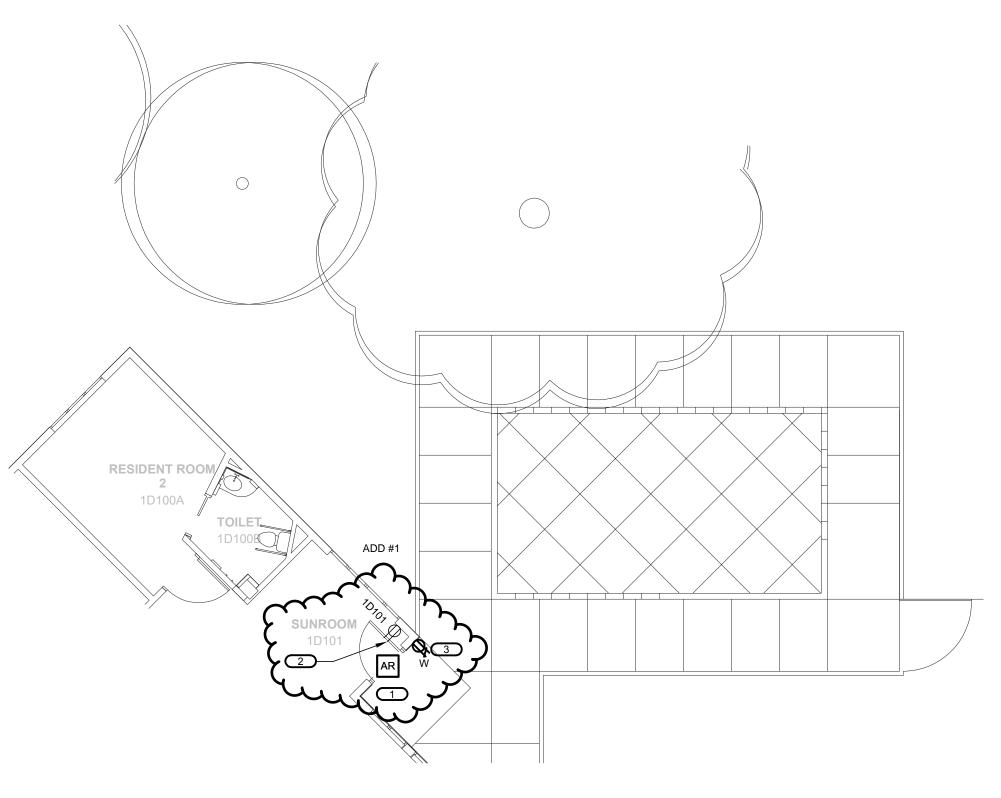










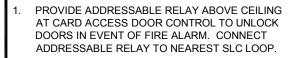


PARTIAL FIRST FLOOR PLAN - ELECTRICAL

1/8"=1'-0" **BUILDING D - ALTERNATE BID 1** 

## KEYNOTES #





- RELOCATE EXISTING RECEPTACLE TO ACCOMMODATE NEW DOOR. COORDINATE EXACT LOCATION WITH OWNER/ARCHITECT.
- CONNECT RECEPTACLE TO RECEPTACLE CIRCUIT NEARBY. VERIFY CIRCUIT CAPACITY PRIOR TO INSTALLATION. COORDINATE EXACT RECEPTACLE LOCATION WITH OWNER/ARCHITECT. WIRE & CONDUIT SIZE AND TYPE SHALL MATCH EXISTING.

ENGINEFRING CONSULTANTS The FUTURE. Built SMARTER.\*



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BADGER PRAIRIE HEALTH CARE CENTER Buildings C & D Neighborhoods Remodel

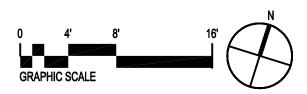
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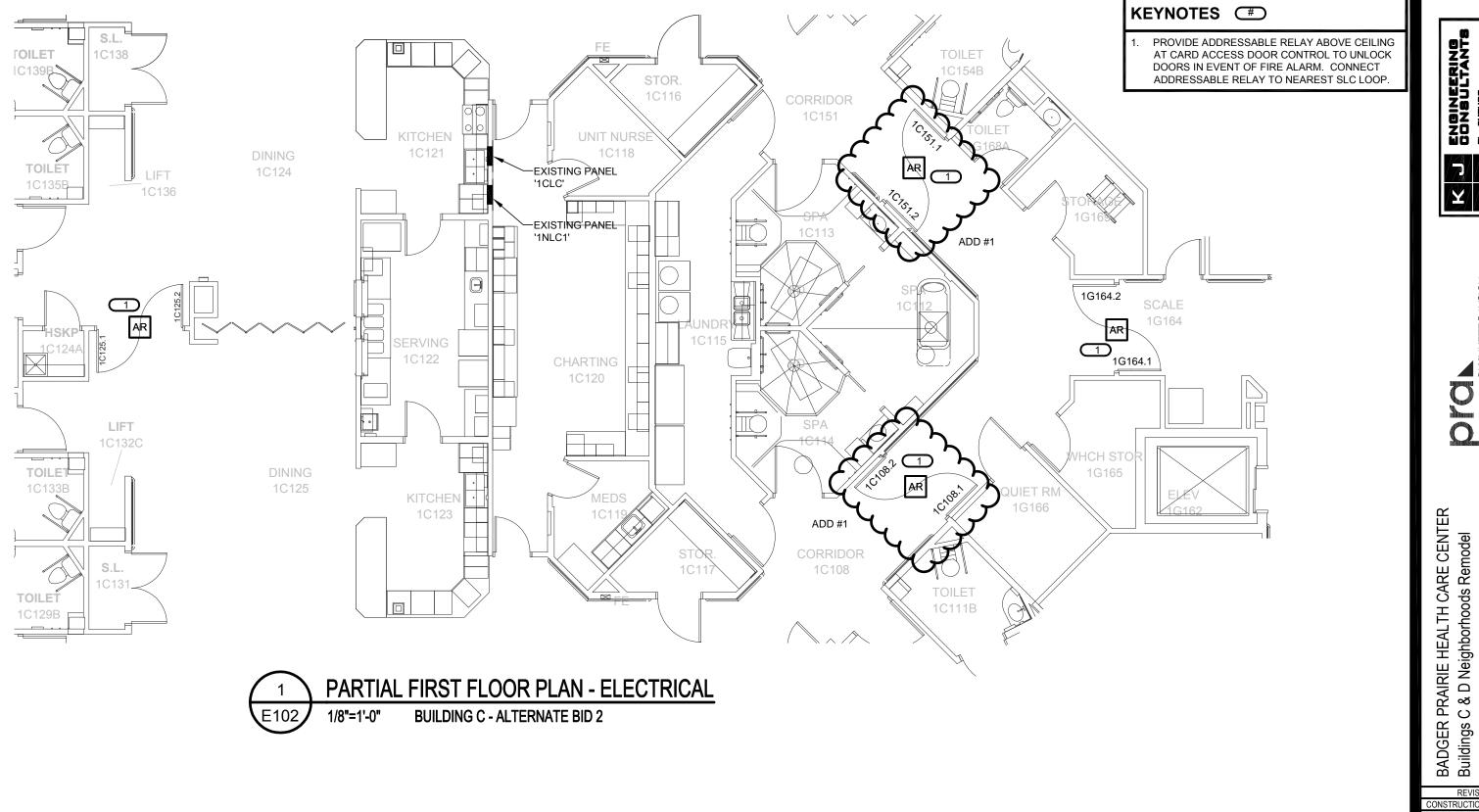
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09-11-14	120341-02	
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ADD NO. 1

CONSTRUCTION DATE

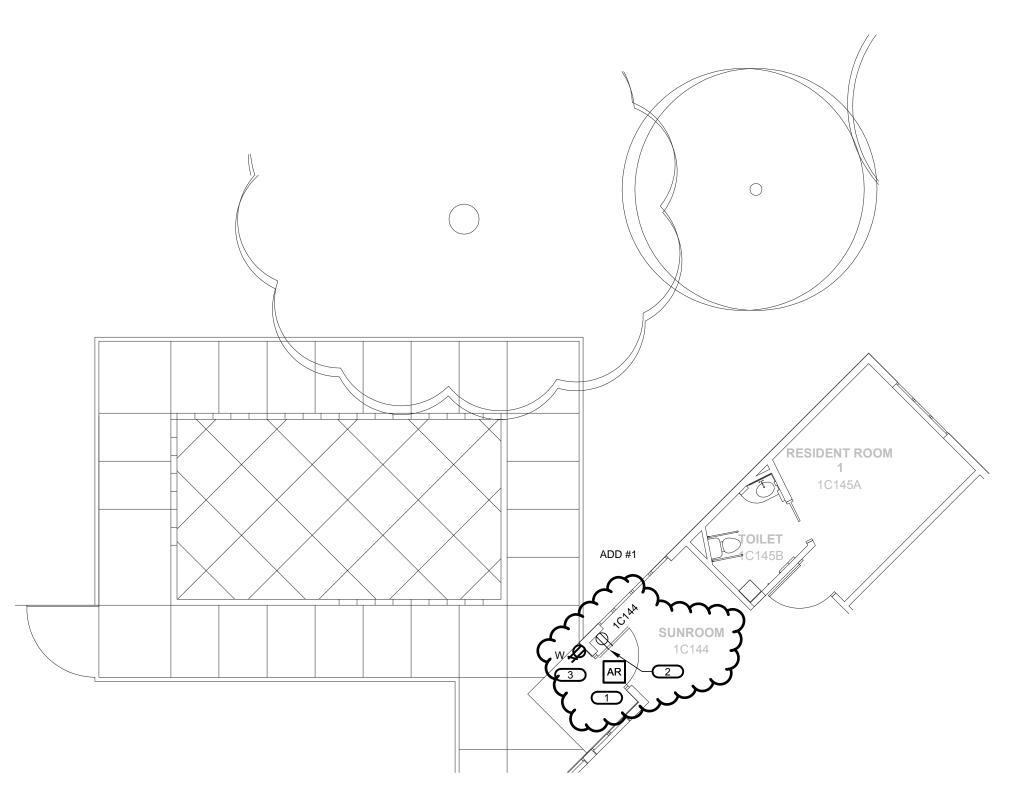








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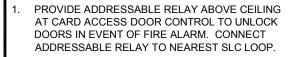
PARTIAL FIRST FLOOR PLAN - ELECTRICAL

1/8"=1'-0"

**BUILDING C - ALTERNATE BID 3** 

## **KEYNOTES** #





- RELOCATE EXISTING RECEPTACLE TO ACCOMMODATE NEW DOOR. COORDINATE EXACT LOCATION WITH OWNER/ARCHITECT.
- CONNECT RECEPTACLE TO RECEPTACLE CIRCUIT NEARBY. VERIFY CIRCUIT CAPACITY PRIOR TO INSTALLATION. COORDINATE EXACT RECEPTACLE LOCATION WITH OWNER/ARCHITECT. WIRE & CONDUIT SIZE AND TYPE SHALL MATCH EXISTING.

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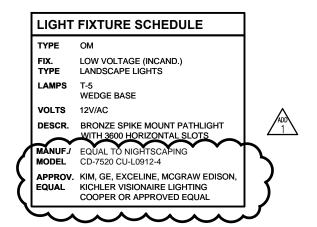
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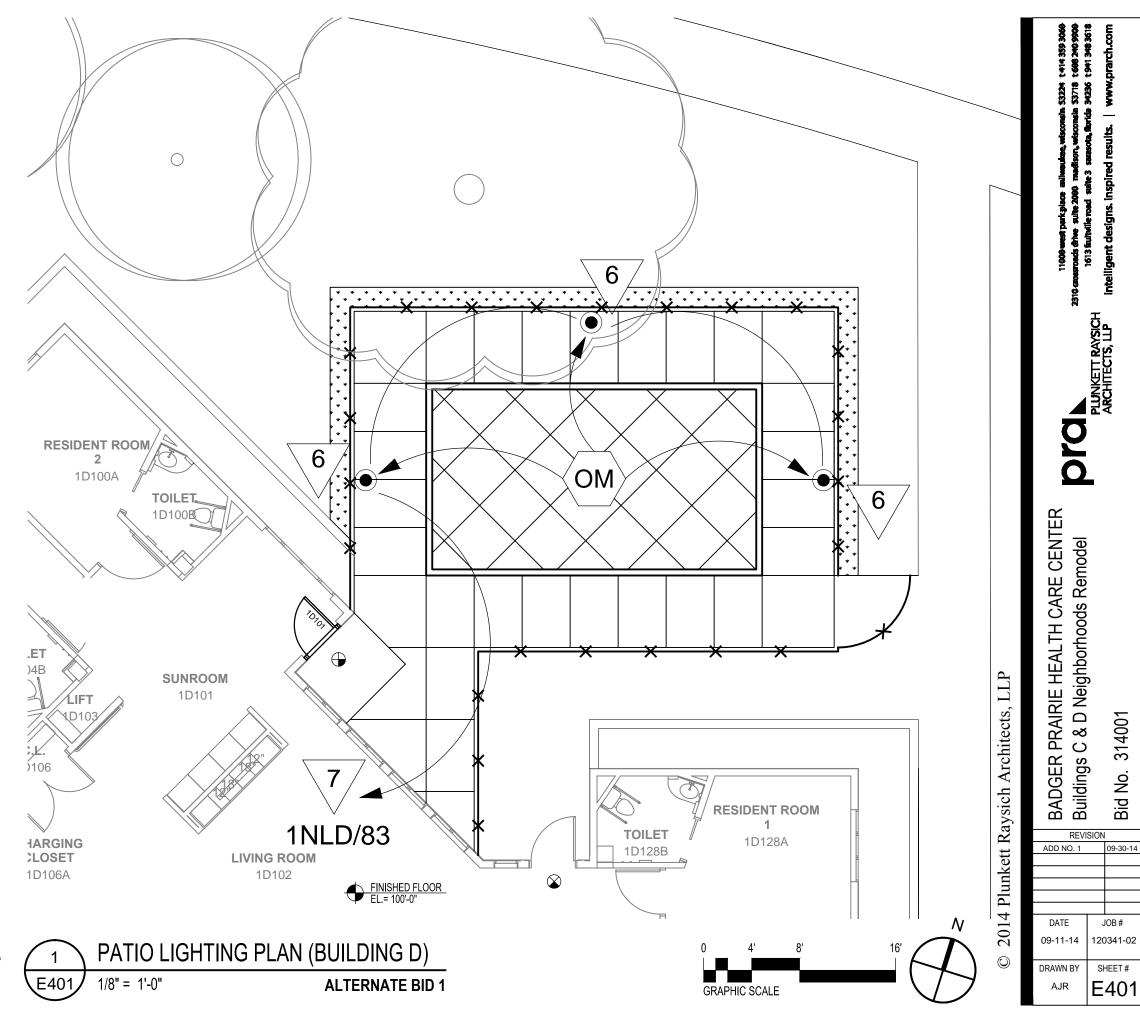
**GRAPHIC SCALE** 

ADD NO. 1

2#12 & 1#12 GND. PROVIDE UNDERGROUND WIRE OUTDOORS AND 3/4" CONDUIT AND WIRE INSIDE. CONTROL WITH PE CELL.

PROVIDE A 120V-12VAC 50VA TRANSFORMER INSIDE THE BUILDING FOR LANDSCAPE LIGHTS, LOCATE TRANSFORMER NEAR EXTERIOR WALL ABOVE CEILING AREA.





314001



2#12 & 1#12 GND. PROVIDE UNDERGROUND WIRE OUTDOORS AND 3/4" CONDUIT AND WIRE INSIDE. CONTROL WITH PE CELL.

PROVIDE A 120V-12VAC 50VA TRANSFORMER INSIDE THE BUILDING FOR LANDSCAPE LIGHTS, LOCATE TRANSFORMER NEAR EXTERIOR WALL ABOVE CEILING AREA.

#### LIGHT FIXTURE SCHEDULE

LOW VOLTAGE (INCAND.)

TYPE LANDSCAPE LIGHTS

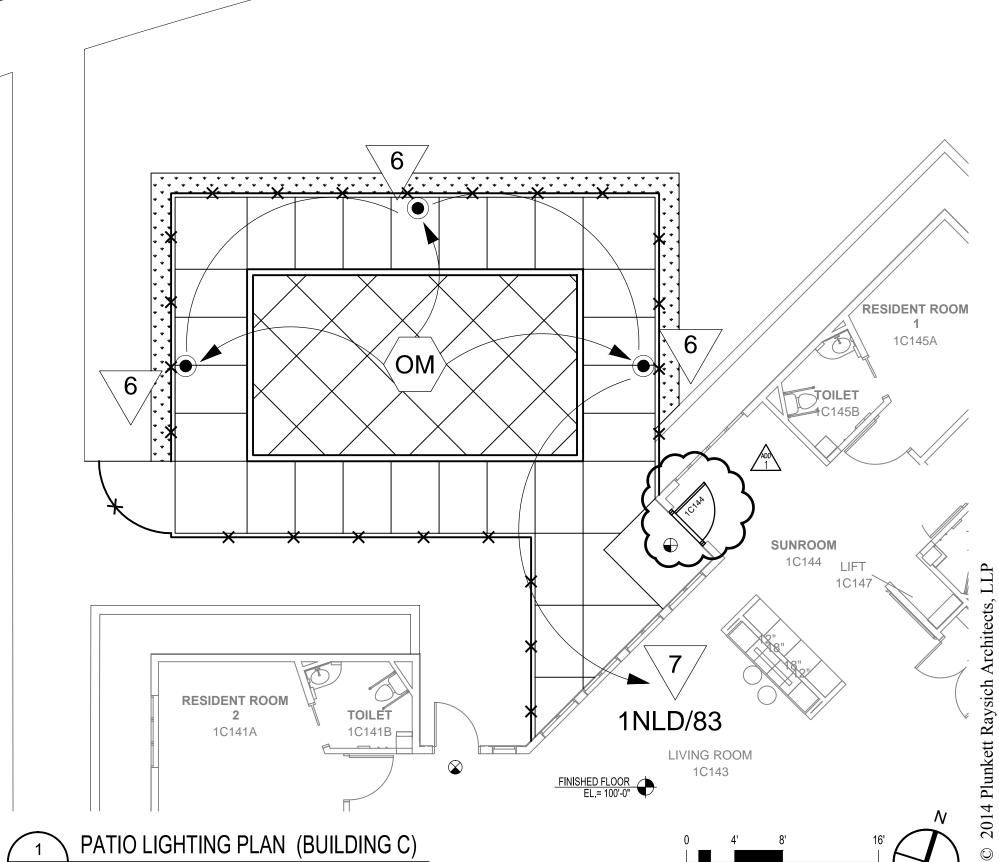
LAMPS WEDGE BASE

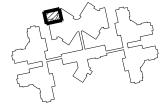
VOLTS 12V/AC

BRONZE SPIKE MOUNT PATHLIGHT WITH 3600 HORIZONTAL SLOTS

MANUF./ NIGHTSCAPING MODEL CD-7520 CU-L0912-4

APPROV. KIM, GE, EXCELINE, MCGRAW EDISON,
EQUAL KICHLER VISIONAIRE LIGHTING
COOPER OR APPROVED EQUAL





PATIO LIGHTING PLAN (BUILDING C) E402 1/8" = 1'-0"

**ALTERNATE BID 3** 



BADGER PRAIRIE HEALTH CARE CENTER Buildings C & D Neighborhoods Remodel Bid No. 314001 REVISION JOB# 09-11-14 120341-02 DRAWN BY SHEET# E402 AJR

2. "(ACP/1)" INDICATES GENERAL TECHNOLOGY EQUIPMENT SCHEDULE ITEM IN SYMBOL.

3. A SLASH IS USED BETWEEN TWO SUBSCRIPTS, e.g., "A/H".

 REFER TO GENERAL TECHNOLOGY EQUIPMENT SCHEDULE AND SPECIFICATIONS FOR FULL DESCRIPTIONS AND MANUFACTURERS OF ALL DEVICES.

5. " # " INDICATES KEYED NOTE USED TO DESCRIBE ADDITIONAL INFORMATION OF WORK REQUIRED, SPECIFIC TO THE SHEET AND/OR DETAIL IT IS SHOWN WITH.

#### FROM FINISHED FLOOR TO CENTERLINE MOUNTING SUBSCRIPT KEY:

#### **TECHNOLOGY OUTLETS**

/A MOUNT +6" TO CENTERLINE ABOVE COUNTER OR BACKSPLASH

/H MOUNT ORIENTED HORIZONTALLY
/L MOUNT IN CASEWORK BY OTHERS

/M MOUNT IN MODULAR FURNITURE BY OTHERS

/S MOUNT IN SURFACE RACEWAY BY E.C.

#### ABBREVIATION KEY:

T.C. TECHNOLOGY CONTRACTOR
S.C. SECURITY CONTRACTOR
E.C. ELECTRICAL CONTRACTOR
M.C. MECHANICAL CONTRACTOR
G.C. GENERAL CONTRACTOR
AFF ABOVE FINISHED FLOOR
BFC BELOW FINISHED CEILING
C CONDUIT

C CONDUIT SIM SIMILAR TYP TYPICAL

+#" MOUNTING HEIGHT ABOVE FINISHED FLOOR

J-BOX JUNCTION BOX

#### LINE TYPE KEY:

 NEW WORK BY THIS CONTRACTOR (DARK SOLID LINE)

NEW WORK UNDERFLOOR OR UNDERGROUND BY THIS CONTRACTOR

(DARK LONG DASHED LINE)

NEW WORK BY OTHERS AND/OR EXISTING TO REMAIN
(LIGHT SOLID LINE)

(DARK SHORT DASHED LINE)

EXISTING TO BE REMOVED BY THIS CONTRACTOR

# **ALTERNATES**

BASE BID: UNIT 'D' SECURITY DOOR OPERATION AS INDICATED WITHIN CONSTRUCTION DOCUMENTS.

ALTERNATE NO. 1: UNIT 'D' EXTERIOR PATIO AS INDICATED WITHIN CONSTRUCTION DOCUMENTS.

ALTERNATE NO. 2: UNIT 'C' SECURITY DOOR OPERATION AS INDICATED WITHIN CONSTRUCTION DOCUMENTS.

ALTERNATE NO. 3: UNIT 'C' EXTERIOR PATIO AS INDICATED WITHIN CONSTRUCTION DOCUMENTS.

## **TECHNOLOGY INSTALLATION NOTES:**

- THE COMPLETE INSTALLATION SHALL BE IN ACCORDANCE WITH THE 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN. REFER TO THE ADA GUIDELINES FOR ALL CONFIGURATIONS DETAIL ON DRAWING T401 FOR ADDITIONAL INFORMATION.
- CONCEAL ALL CONDUIT IN WALLS, PARTITIONS, ABOVE CEILING, IN FLOOR SLAB, ETC. UNLESS OTHERWISE INDICATED ON THE PLANS OR IN THE SPECIFICATIONS. CONDUIT IN MECHANICAL ROOMS AND STORAGE ROOMS WITHOUT CEILINGS MAY BE EXPOSED ON BUILDING STRUCTURE.
- 3. BOXES LOCATED ON OPPOSITE SIDES OF NON-RATED WALLS SHALL BE OFFSET A MINIMUM OF 6" HORIZONTALLY. BOXES ON OPPOSITE SIDES OF FIRE RATED WALLS SHALL BE OFFSET A MINIMUM OF 24" HORIZONTALLY. "THRU-THE-WALL" BOXES SHALL NOT BE ALLOWED WITHOUT PRIOR WRITTEN APPROVAL OF THE ARCHITECT/ENGINEER.
- E. CONTRACTOR SHALL VERIFY ALL FURNITURE, MODULAR FURNITURE, AND EQUIPMENT LOCATIONS WITH ARCHITECTURAL PLANS, ELEVATIONS, AND REVIEWED SHOP DRAWINGS. PRIOR TO MAKING THE ACTUAL TELECOMMUNICATIONS INSTALLATION, THIS CONTRACTOR SHALL ADJUST OUTLETS OR CONNECTION LOCATIONS TO ACCOMMODATE FURNITURE AND/OR EQUIPMENT.
- 5. TELECOMMUNICATIONS EQUIPMENT SHALL BE MOUNTED TO ALLOW ACCESS TO ELECTRICAL AND MECHANICAL EQUIPMENT. ALL MOUNTING OF TELECOMMUNICATION DEVICES ON EQUIPMENT SUPPLIED BY ANOTHER CONTRACTOR SHALL BE APPROVED IN ADVANCE BY THE OTHER CONTRACTOR.
- 6. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL OPENINGS REQUIRED IN WALLS. ALL OPENINGS SHALL BE REPAIRED TO MATCH EXISTING BY A QUALIFIED CONTRACTOR AT THE EXPENSE OF THIS CONTRACTOR. ALL CONDUITS THROUGH WALLS SHALL BE GROUTED OR SEALED INTO OPENINGS.
- 7. FIRESTOPPING REFERS TO THE ITEMS SPECIFICALLY ADDRESSED IN DIVISION 26 AND 28 DOCUMENTS. ALL MATERIALS USED TO SEAL PENETRATIONS OF FIRE RATED WALLS AND FLOORS SHALL BE TESTED AND CERTIFIED AS A SYSTEM PER ASTM E814 STANDARDS FOR FIRE TESTS OF THROUGH-PENETRATION FIRESTOPS. REFER TO 28 05 03 FOR ADDITIONAL INFORMATION AND REQUIREMENTS.
- 8. CONTRACTOR SHALL REMOVE AND REINSTALL ALL CEILING TILES AS REQUIRED FOR THE EXECUTION OF TELECOMMUNICATIONS WORK THAT IS OUTSIDE THE CONTRACT LIMITS OF CONSTRUCTION. CONTRACTOR SHALL REPLACE CEILING TILES WITH IDENTICAL MATERIAL WHERE DAMAGED BY THIS CONTRACTOR.
- INCUMBENT ACCESS CONTROL SYSTEM CONTRACTOR ON SITE IS ESI. ESI SHALL BE CONTRACTED TO PERFORM ALL SPECIFIED ACCESS CONTROL WORK. ESI PROJECT CONTACT IS JERRY GITLEWSKI (262) 832-1308 JERRY.GITLEWSKI@THINKESI.COM.

10. INCUMBENT NURSE CALL SASTEM CONTRACTOR ON SITE IS SELECT SOUND. SELECT SOUND SHALL BE CONTRACTED TO PERBORN AN SPECIFIED NURSE CALL WORK. SELECT SOUND PROJECT CONTACT IS MIKE BORHART (608) 826-5521 MBORHART @SELECTSOUNDSERVICE.COM.

11. INCUMBENT ELECTRICAL & TECHNOLOGY SYSTEMS CONTRACTOR ON SITE IS OIMOEN ELECTRIC. OIMOEN ELECTRIC SHALL BE CONTRACTED TO PERFORM PRE-INSTALLATION REVIEW AND CONSTRUCTION OVERSIGHT OF ALL MODIFICATIONS RELATED TO ACCESS CONTROL SYSTEM, NURSE CALL SYSTEM, FIRE ALARM SYSTEM AND ASCOM TELECOMMUNICATION SYSTEM. OIMOEN ELECTRIC CONTACT IS RANDY MOYER (608 437-5662, DJOIMOEN@MHTC.NET.

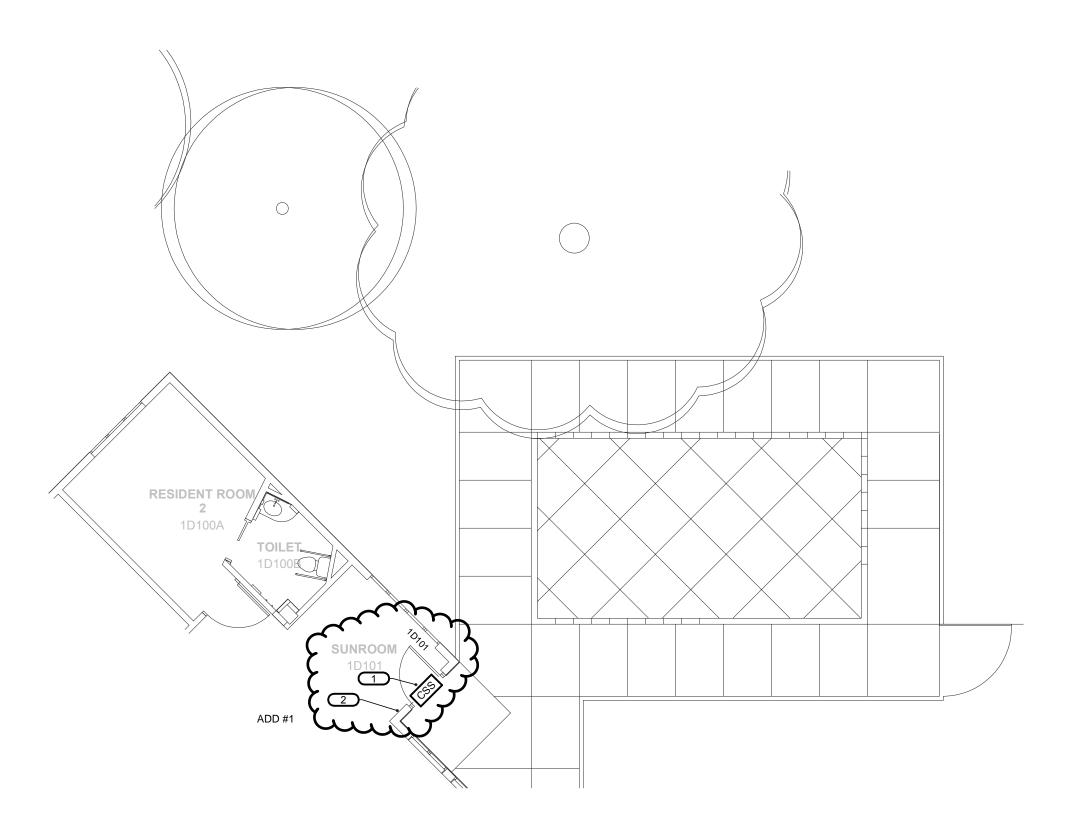
1 COVERSHEET - TECHNOLOGY
T000 NO SCALE

ADD #1 ~

**ADD #1** 

ГООС

314001





PARTIAL FIRST FLOOR PLAN - TECHNOLOGY

1/8"=1'-0"

**BUILDING D - ALTERNATE BID 1** 

## **GENERAL NOTES**

1. REFER TO 1/T050 FOR LOCATION OF EXISTING ACCESS CONTROL PANELS.

## KEYNOTES #

- EXISTING VOICE/DATA JACK TO BE RELOCATED. REFER TO KEYNOTE 2 FOR NEW LOCATION.
  NEW LOCATION FOR EXISTING
- VOICE/DATA JACK.

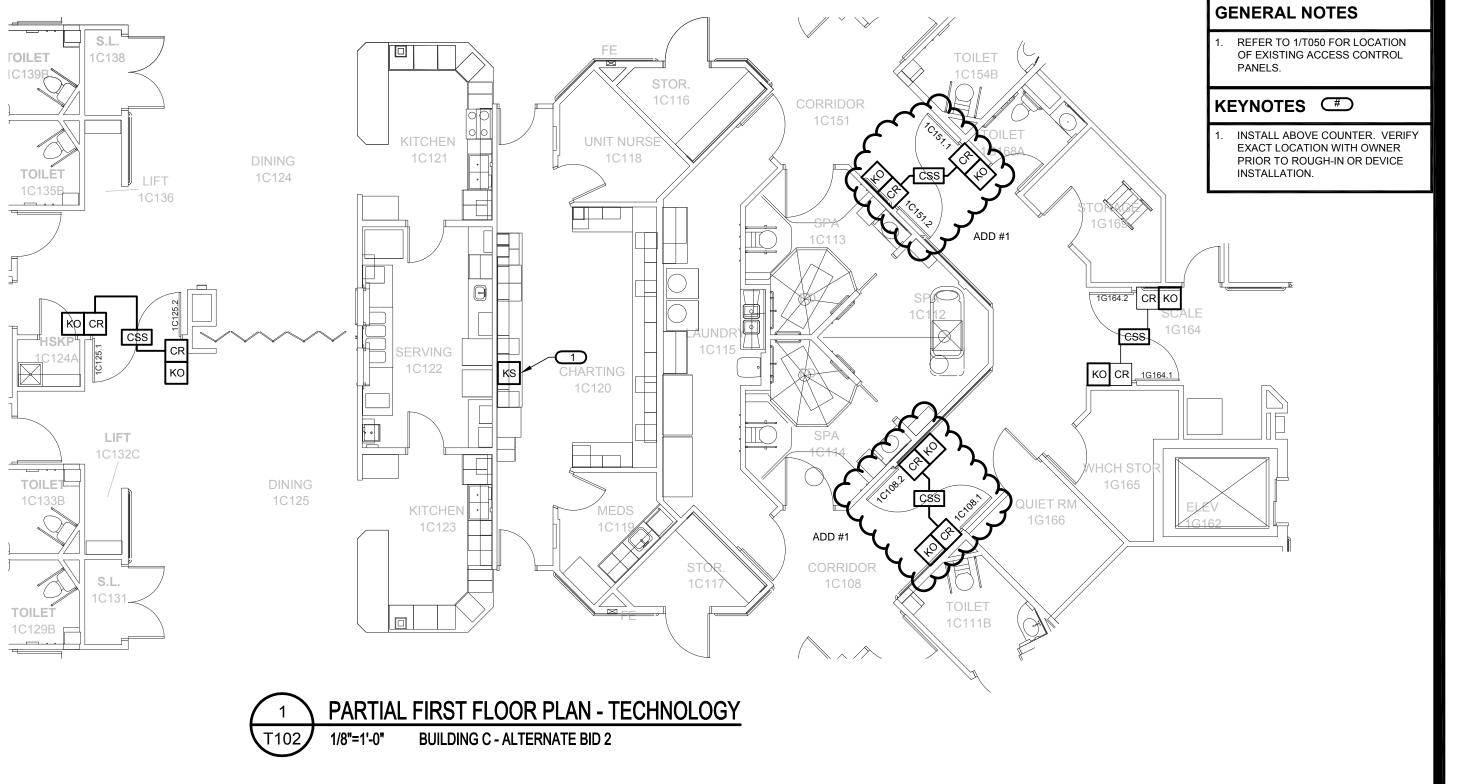


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BADGER PRAIRIE HEALTH CARE CENTER Buildings C & D Neighborhoods Remodel

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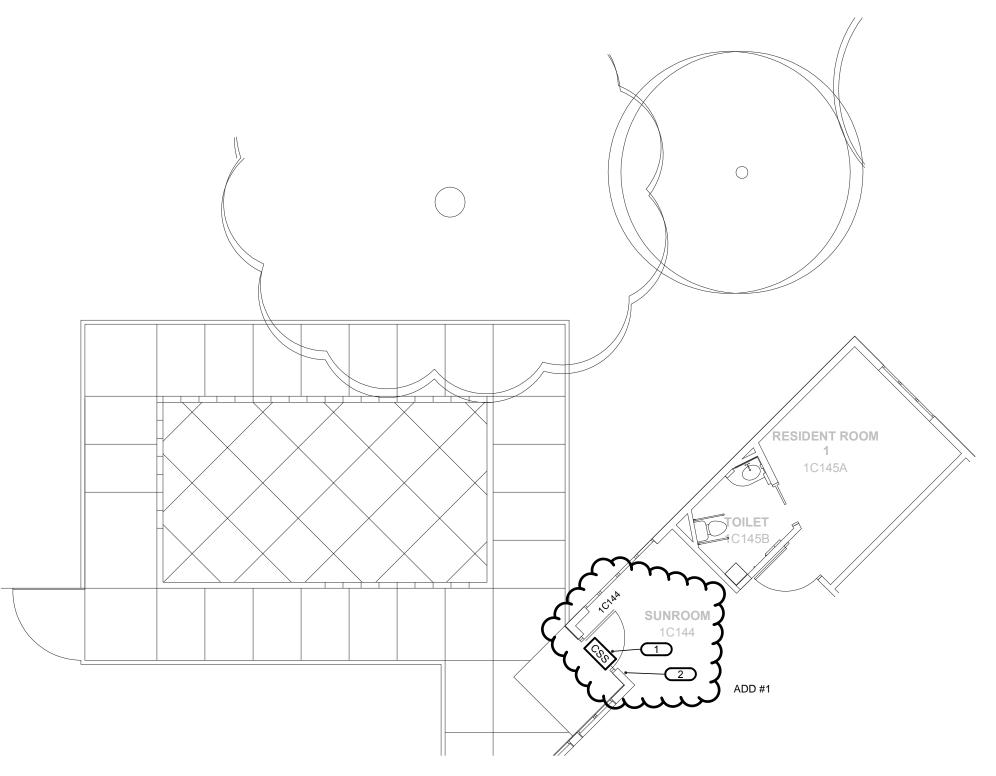
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09-11-14 120341-02

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PARTIAL FIRST FLOOR PLAN - TECHNOLOGY

1/8"=1'-0"

BUILDING C - ALTERNATE BID 3

## **GENERAL NOTES**

REFER TO 1/T050 FOR LOCATION OF EXISTING ACCESS CONTROL PANELS.

## KEYNOTES #

- EXISTING VOICE/DATA JACK TO BE RELOCATED. REFER TO KEYNOTE 2 FOR NEW LOCATION.
  NEW LOCATION FOR EXISTING
- VOICE/DATA JACK.





BADGER PRAIRIE HEALTH CARE CENTER Buildings C & D Neighborhoods Remodel

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# **ACCESS CONTROL SCHEDULE**

DOOR#	PLAN REF		DOOR FEATURES							S	SCHEDULE NOTES
		CARD READER - IN	CARD READER - OUT	CONNECTION TO ELECTRIFIED DOOR HARDWARE (MAG LOCK)	CONNECTION TO MAGNETIC BOND SENSOR	CONNECTION TO DOOR POSITION MONITOR	DOOR ALARM ANNUNCIATION VIA NURSE CALL SYSTEM	REMOTE UNLOCK VIA FIRE COMMAND CENTER	LOCAL EMERGENCY UNLOCK VIA KEY OVERRIDE	S = SINGLE DOOR / D = DOUBLE DOOR	
1D108.1	T100	X	Х	Х	Х	Х	Х	Х	Χ	S	2, 4, 6
1D108.2	T100	Х	Χ	Χ	Х	Х	Х	Χ	Х	S	2, 4,6
1D124.1	T100	Х	Χ	Χ	Х	Х	Х	Χ	Х	S	2, 4,6
1D124.2	T100	Х	Χ	Χ	Х	Х	Х	Χ	Х	S	2, 4,6
1D151.1	T100	Х	Χ	Х	Х	Х	Х	Х	Х	S	2, 4,6
1D151.2	T100	Х	Χ	Χ	Х	Х	Х	Χ	Х	S	2, 4,6
1G175.1	T100	Х	Х	Х	Х	Х	Х	Х	Χ	S	1, 2, 4,6
1G175.2	T100	Х	Х	Χ	Х	Х	Х	Χ	Χ	S	1, 2, 4,6
1D101	T101					Х	Х			S	3, 5, 7
1C108.1	T102	Х	Х	Χ	Х	Х	Х	Х	Χ	S	2, 4, 8
1C108.2	T102	Х	Х	Χ	Х	Х	Х	Χ	Χ	S	2, 4, 8
1C125.1	T102	Х	Х	Χ	Х	Х	Х	Χ	Χ	S	2, 4, 8
1C125.2	T102	Х	Χ	Χ	Х	Х	Х	Χ	Χ	S	2, 4, 8
1C151.1	T102	Х	Х	Χ	Х	Х	Х	Χ	Χ	S	2, 4, 8
1C151.2	T102	Х	Χ	Χ	Х	Х	Х	Χ	Χ	S	2, 4, 8
1G164.1	T102	Х	Х	Χ	Х	Х	Х	Χ	Χ	S	1, 2, 4, 8
1G164.2	T102	Х	Х	Х	Х	Х	Х	Х	Х	S	1, 2, 4, 8
1C144	T103					Х	Х			S	3, 5, 9

ADD #1

$\bigcirc$ 1	ACCESS CONTROL SCHEDULE - TECHNOLOGY
T300	NO SCALE

#### NOTES:

- 1. EACH LEAF'S DOOR CONTACT SWITCH SHALL OPERATE INDEPENDENTLY. DO NOT SHUNT IN SERIES.
- 2. ELECTRIC DOOR HARDWARE SUCH AS MAGNETIC LOCKS WITH MAGNETIC BOND SENSOR CONTACT AND DOOR POSITION SENSOR CONTACT, ETC. SHALL BE FURNISHED AND INSTALLED BY OTHERS. CONTROL PANELS AND PROGRAMMING, CARD READERS, AND ALL SYSTEM CABLING BY THIS CONTRACTOR.
- 3. LOW-VOLTAGE POWER FOR HARD-WIRED ELECTRIFIED DOOR LOCKING HARDWARE PROVIDED BY ACCESS CONTROL SYSTEM CONTROL PANELS BY THIS CONTRACTOR.
- 4. COORDINATE CONNECTION TO ELECTRIC DOOR HARDWARE PROVIDED BY OTHERS WITH ON-SITE DOOR HARDWARE INSTALLATION CONTRACTOR.
- 5. COORDINATE TESTING OF ELECTRIC DOOR HARDWARE PROVIDED BY OTHERS WITH ON-SITE DOOR HARDWARE INSTALLATION CONTRACTOR.
- 6. REFER TO ARCHITECTURAL DOOR HARDWARE GROUPS AND SPECIFICATION FOR COMPLETE INFORMATION.

#### SCHEDULE NOTES

- 1. EXISTING DOORWAY EQUIPPED WITH EXISTING CARD READERS AND EXISTING ELECTRIFIED DOOR LOCKING HARDWARE TO REMAIN.
- 2. EXISTING DOORWAY WITH EMPTY EXISTING ROUGH-INS FOR ACCESS CONTROL SYSTEM DEVICES.
- 3. REFER TO 1/T400 FOR ACCESS CONTROL ROUGH-IN REQUIREMENTS.
- 4. BOND SENSOR AND DOOR POSITION ALARMS SHALL ANNUNCIATE ON EXISTING NURSE CALL SYSTEM WIRELESS HANDSETS. ALARM NOTIFICATION ON HANDSET SHALL INCLUDE DOOR IDENTIFIER TO DIRECT STAFF TO DOOR IN ALARM.
- 5. DOOR POSITION ALARMS SHALL ANNUNCIATE ON EXISTING NURSE CALL SYSTEM WIRELESS HANDSETS. ALARM NOTIFICATION ON HANDSET SHALL INCLUDE DOOR IDENTIFIER TO DIRECT STAFF TO DOOR IN ALARM.
- 6. DOOR IS PART OF BASE BID. REFER TO T000 FOR ADDITIONAL INFORMATION.
- 7. DOOR IS PART OF ALTERNATE NO. 1. REFER TO T000 FOR ADDITIONAL INFORMATION.
- 8. DOOR IS PART OF ALTERNATE NO. 2. REFER TO T000 FOR ADDITIONAL INFORMATION
- 9. DOOR IS PART OF ALTERNATE NO. 3. REFER TO T000 FOR ADDITIONAL INFORMATION.





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